

CITY COUNCIL REPORT



MEETING DATE: May 17, 2005

ITEM NO.



GOAL: Coordinate Planning to Balance Infrastructure

SUBJECT

Comerica Bank - 36-UP-2004

REQUEST

Request a conditional use permit for a bank on a 50,000 +/- square feet parcel located at 14801 N Scottsdale Road with Industrial Park (I-1) zoning.

Key Items for Consideration:

- The bank is compatible with surrounding employment uses.
- There is no opposition to this proposal.
- The trip generation report indicates that the bank will generate an increase in traffic as compared to the previous office use (See Traffic Impact Analysis).
- Planning Commission recommends approval, 6-0.

OWNER

Comerica Bank
310-725-4192

APPLICANT CONTACT

Lynne Lagarde
Earl Curley & Lagarde PcC
602-265-0094

LOCATION

14801 N Scottsdale Rd

BACKGROUND

Zoning.

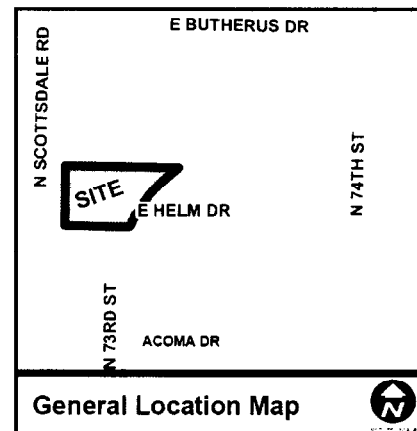
The site is zoned Industrial Park (I-1). The I-1 zoning district allows for a bank with the approval of a conditional use permit.

General Plan.

The General Plan Land Use Element designates the property as Employment. The category permits a range of uses from light manufacturing to light industrial and office uses.

Context.

There is an existing building that will be demolished to make room for the proposed building. The surrounding property is zoned I-1, north, south and east of this site. Along the west side of Scottsdale Road there is primarily commercial, office and retail within the City of Phoenix.



APPLICANT'S PROPOSAL

Goal/Purpose of Request.

The proposed bank will occupy one of three lots that will be developed on this

site. The applicant plans to demolish the existing building and erect the proposed bank on the northwest portion of the site with cross access easements that will provide access between the remaining parcels. The site circulation, parking and open space will be redesigned to meet the needs of the bank, and future development of the site.

Development Information.

- *Existing Use:* Office Building (To be demolished)
- *Parcel Size:* 50,110 Square Feet
- *Building Height Allowed:* 36 Feet
- *Proposed Building Height:* 26 Feet
- *Total Floor Area:* 4,277 square feet net (Comerica Bank)

IMPACT ANALYSIS

Traffic.

The trip generation summary submitted by the applicant demonstrates the proposed land uses, including the drive-thru, generates 723 more trips per day to the site than the current general office land use. It should be noted that other intense land uses such as post office branches and gymnasiums are allowed under the I-1 zoning. It is also reasonable to assume that the bank will draw traffic primarily from the businesses in the airpark area. Bank branches tend to serve local areas, not draw traffic from a regional area. Scottsdale Road and the streets in the vicinity have adequate capacity to handle the additional traffic.

Parking.

The site currently has 129 parking spaces. The site will be redesigned and divided into three parcels to accommodate three new buildings. The bank parcel will provide 27 parking spaces, 18 parking spaces are required for the proposed bank.

Use Permit Criteria.

Conditional use permits, which may be revocable, conditional, or valid for a specified time period, may be granted only when expressly permitted after the Planning Commission has made a recommendation and the City Council has found as follows:

- A. That the granting of such conditional use permit will not be materially detrimental to the public health, safety or welfare. In reaching this conclusion, the Planning Commission and the City Council's consideration shall include, but not be limited to, the following factors:
 1. Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.
 - **The proposed use is not expected to generate significant noise, smoke, odor, dust, vibration or illumination. Stipulations address appropriate light levels for the site.**
 2. Impact on surrounding areas resulting from an unusual volume or character of traffic.
 - **The proposed use is not expected to generate an unusual**

volume or character of traffic. The surrounding roadways can handle the increase of traffic generated by this use.

3. There are no other factors associated with this project that will be materially detrimental to the public.

- **No other detrimental factors are expected to occur with the proposed use on this site.**

- B. The characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas.

- **The proposed use is compatible with other existing professional office and industrial park uses on surrounding properties.**

- C. The additional conditions specified in Section 1.403, as applicable, have been satisfied.

1. The use shall primarily serve the needs of the industrial park, surrounding areas, and be located accordingly.

The subject building is located along Scottsdale Road, abutting a major employment core, the Scottsdale Airport.

2. The use shall not be detrimental to the surrounding area due to the character of the proposed building.

The applicant proposes to demolish the existing building. The proposed bank building will need Development Review Board Approval for elevations.

Community Involvement.

The applicant mailed information regarding their Use Permit request to property owners within 750 feet of the subject site. Staff has not received any comments from the public at the time of writing this report.

BOARDS AND COMMISSIONS

Planning Commission.

On April 13, 2005, the Planning Commission heard this case on the expedited agenda and recommended approval, 6-0.

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends approval, subject to the attached stipulations.

RESPONSIBLE DEPT (s)

Planning and Development Services Department
Current Planning Services

STAFF CONTACT (s)

Greg Williams
Senior Planner
480-312-4205

E-mail: gwilliams@ScottsdaleAZ.gov

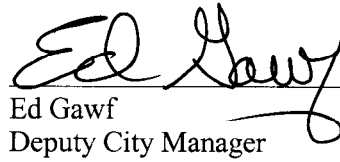
Randy Grant
Chief Planning Officer
480-312-7995

E-mail: rgrant@ScottsdaleAZ.gov

APPROVED BY


Randy Grant
Chief Planning Officer

5/1/05
Date


Ed Gawf
Deputy City Manager

5/2/05
Date

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Land Use Map
4. Zoning Map
5. Stipulations
6. Additional Information
7. Citizen Involvement
8. City Notification Map
9. April 13, 2005 Planning Commission Minutes
10. Architectural Character
11. Site Plan

USE PERMIT PROJECT NARRATIVE

Comerica Bank is requesting a use permit for a bank on an approximately one + acre parcel zoned I-1 at 14801 N. Scottsdale Road, which is the current location of the State Farm Insurance office. The requested use permit meets all use permit criteria. The bank will not create any noise, smoke, odor, dust, vibration or illumination problems. The site is within the airpark area along Scottsdale Road and surrounded by commercial development including office and retail uses along the Scottsdale Road corridor. Because of the developed commercial uses, there will be no impact from any unusual volume of traffic, and the use is reasonably compatible with the surrounding area. The proposed bank is not adjacent to residential areas, and therefore, special use permit criteria do not apply.

The site has been designed with an access driveway to Scottsdale Road to be shared by the parcel to the south which is planned for future commercial use. The State Farm building will be demolished and site circulation and parking redesigned to serve bank needs. The four drive-thru lanes on the north side of the bank will allow patrons convenient access to a teller or ATM. With easy arterial access, ample parking and pedestrian access, clientele in the airpark area can easily reach the building for their full service banking needs. Similarly, the existing landscaping will be replaced with desert varieties in accordance with Scottsdale's design standards. The new building and landscaping will significantly update the site and enhance the area.

The proposed bank building is responsive to Scottsdale's environment and commercial texture. The architectural design and materials, with light beige brick and a copper painted roof, blends with native landscaping and is compatible with surrounding development. The design is intended to allow current patrons to recognize Comerica in its new context while simultaneously inviting new customers to become part of the Comerica banking community.

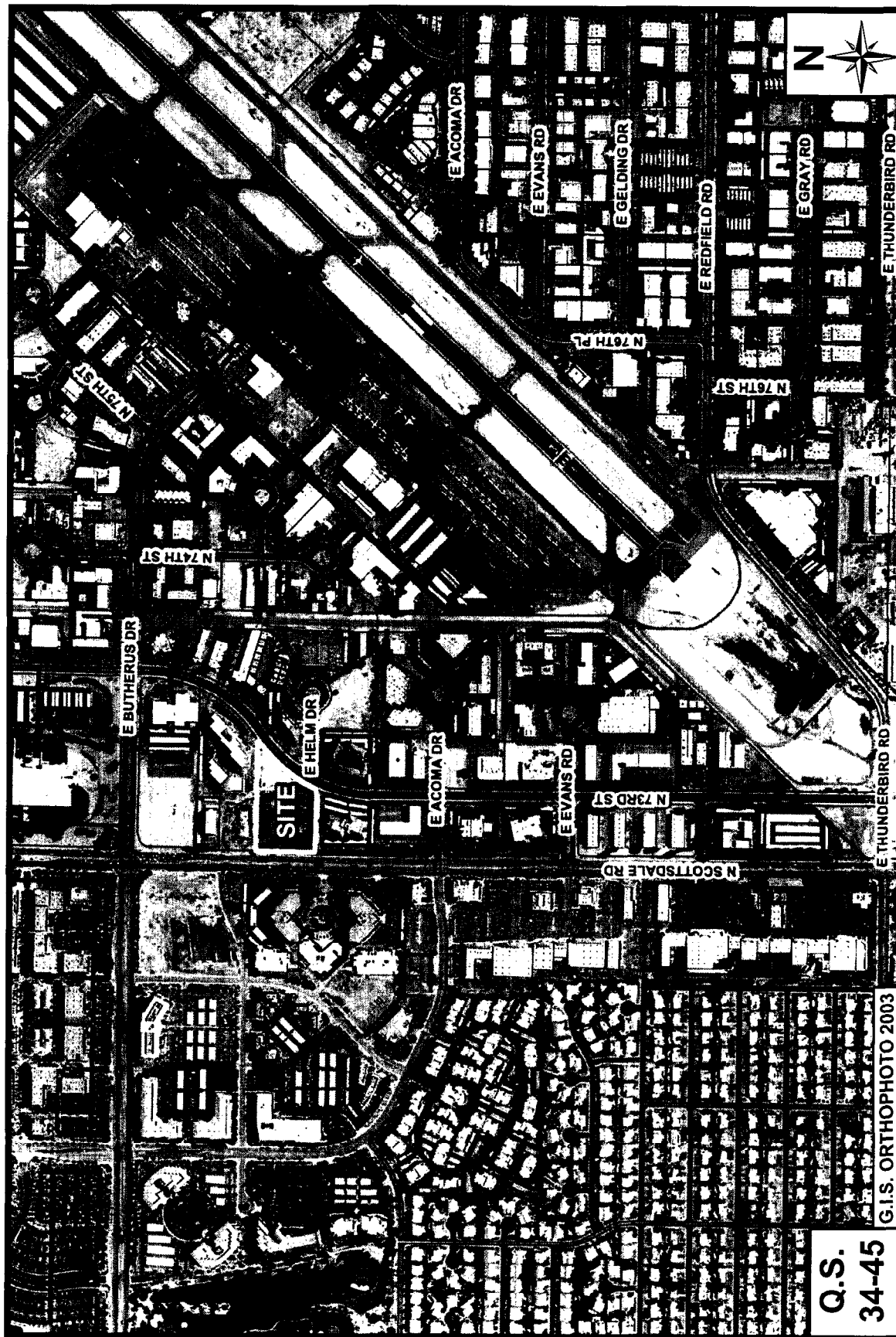
Comerica Bank is a full service banking institution based in Detroit, Michigan with locations in Florida, Texas and California. Comerica is actively seeking to expand its territory in the west which includes Arizona. The Comerica Branch Bank of Scottsdale is one of several proposed Comerica banking locations throughout Scottsdale and the Valley. Comerica is expanding its territory to the west beginning with Arizona and California. This expansion carries with it Comerica's dedication to quality and community, as well as the intent to offer clients a full range of banking amenities.

TRIP GENERATION COMPARISON

Use	Size	ADT's
Office ¹	15,475 s.f.	179
Bank ²	4,277 s.f.	902

¹ ITE Trip Generation, 6th Edition, Volume 2, Single Tenant Office Building (715)

² ITE Trip Generation, 6th Edition, Volume 2, Average Drive-In (912) and Walk-In Bank (911)



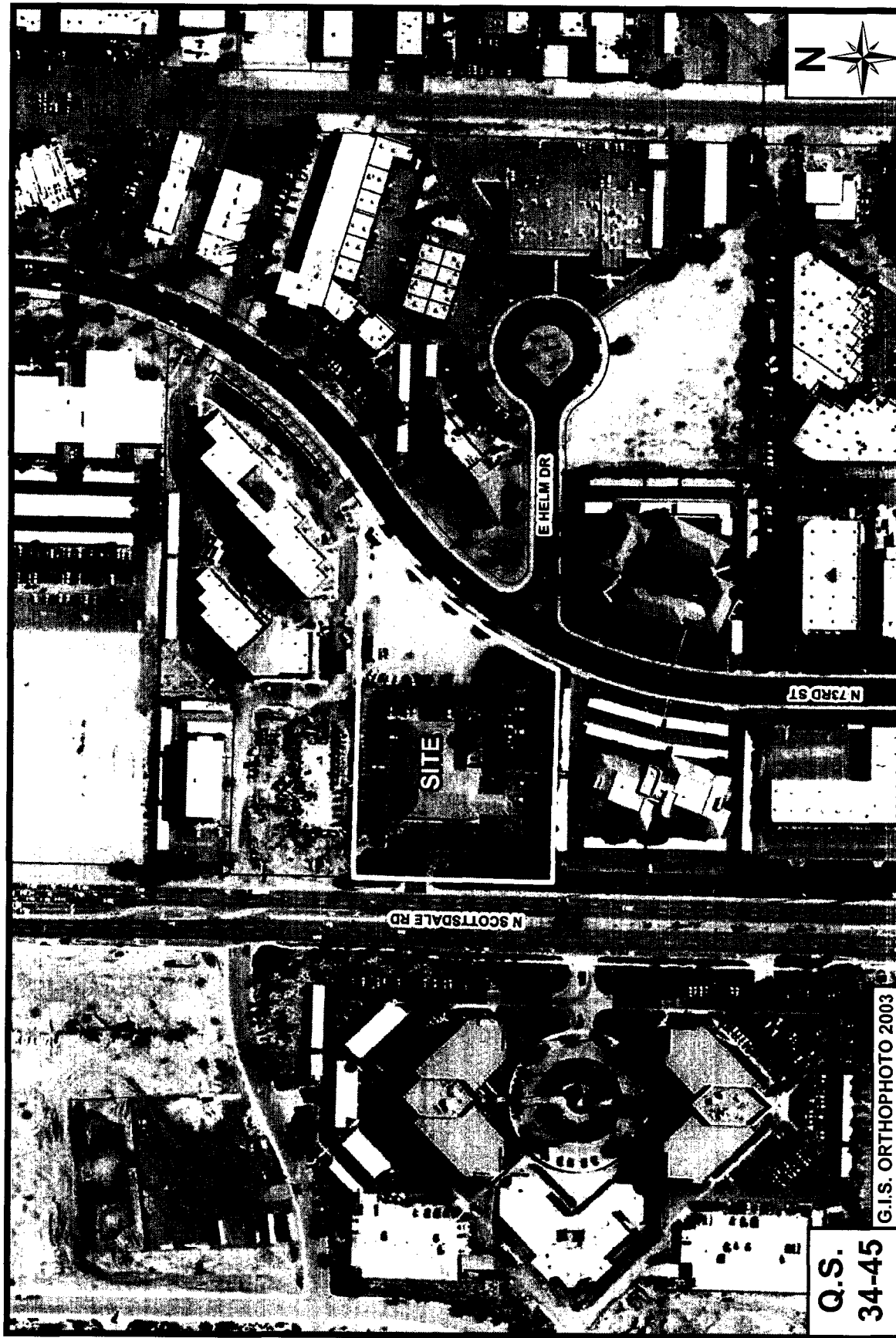
Q.S.
34-45

G.I.S. ORTHOPHOTO 2003

Comerica Bank

36-UP-2004

ATTACHMENT #2



Q.S.
34-45

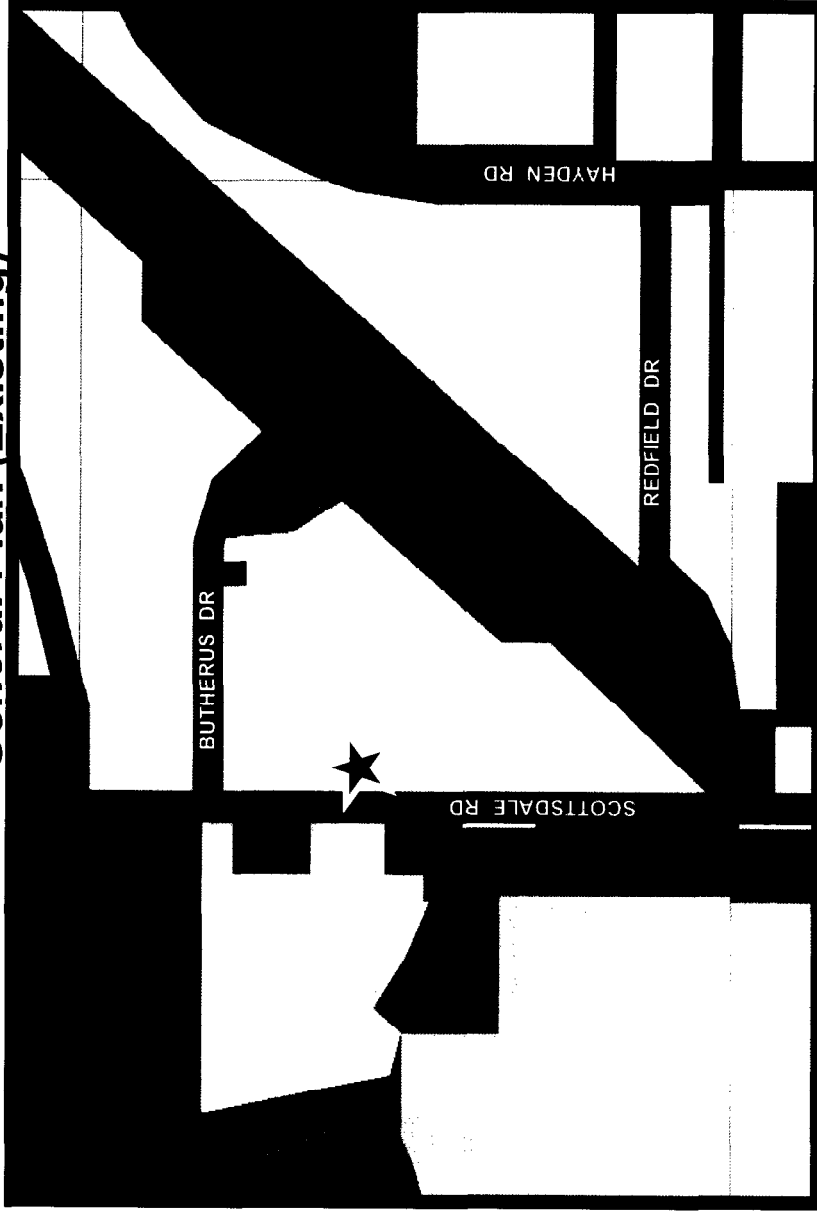
G.I.S. ORTHOPHOTO 2003

Comerica Bank

36-UP-2004

ATTACHMENT #2A

General Plan (Existing)

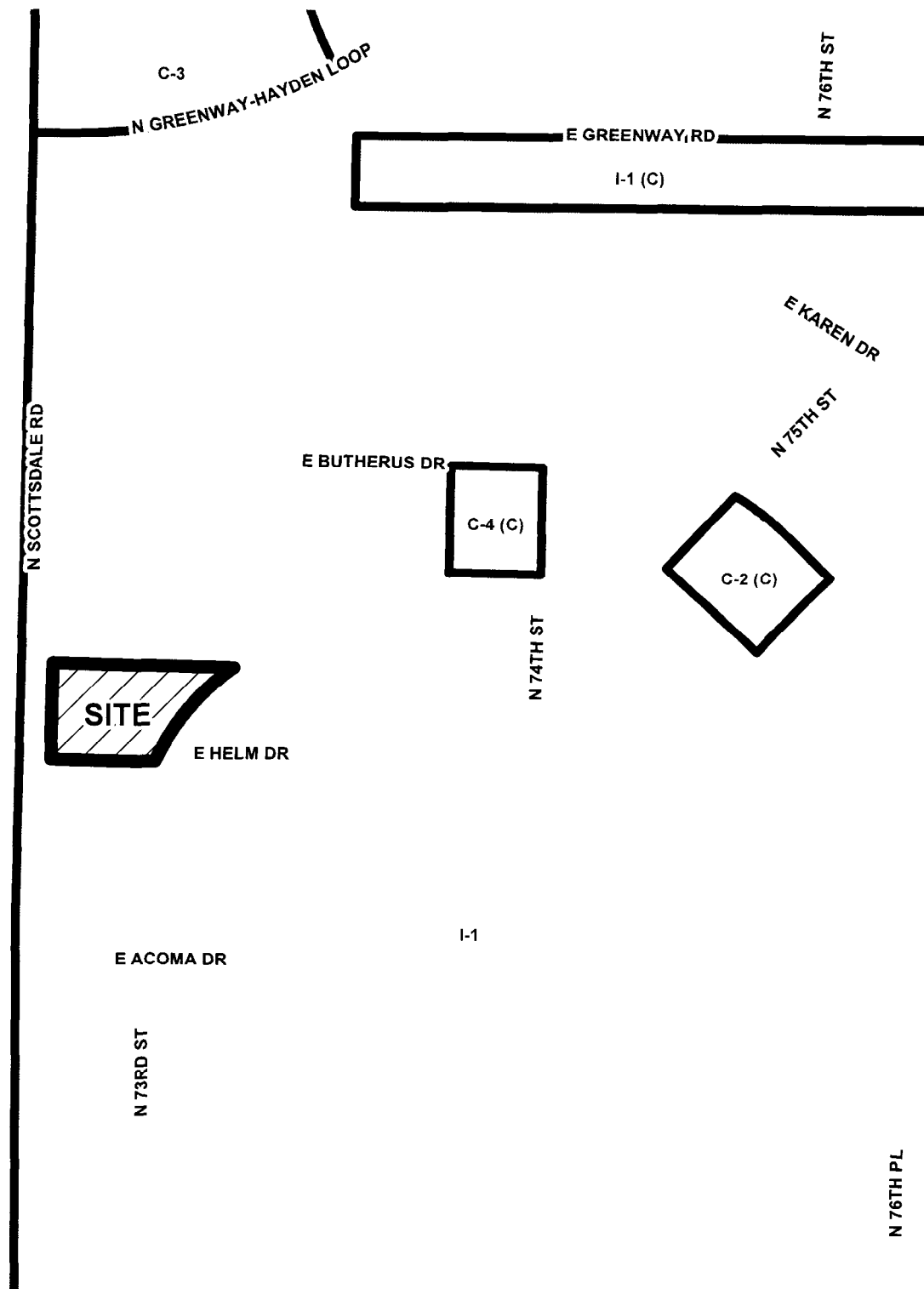


- Rural Neighborhoods
- Suburban Neighborhoods
- Urban Neighborhoods
- Mixed-Use Neighborhoods
- Resorts/Tourism
- Shea Corridor
- Mayo Support District
- Regional Use District
- Commercial
- Office
- Employment
- Natural Open Space
- Developed Open Space (Parks)
- Developed Open Space (Golf Courses)
- Cultural/Institutional or Public Use
- McDowell Sonoran Preserve (as of 8/2003)
- Recommended Study Boundary of the McDowell Sonoran Preserve
- City Boundary
- Location not yet determined



36-UP-2004
ATTACHMENT #3

Adopted by City Council October 30, 2001
Ratified by Scottsdale voters March 12, 2002
revised to show McDowell Sonoran Preserve as of May 2004
revised to reflect General Plan amendments through June 2004



36-UP-2004

ATTACHMENT #4

STIPULATIONS FOR CASE 36-UP-2004

PLANNING/ DEVELOPMENT

1. CONFORMANCE TO ARCHITECTURAL ELEVATIONS: The proposed building shall generally conform to the architectural character shown on building elevation sheets A3 and A4, submitted by DWL Architects with a staff receipt date of 3/4/2004. Determination of general conformance shall be subject to evaluation and ruling of the assigned project coordinator. Specific aspects of architectural character, proportions, materials, colors, and finishes shall be subject to DRB review and approval.
2. CONFORMANCE TO SITE PLAN: The site automobile circulation elements shall conform with the site plan sheet SP-1, submitted by DWL Architects with a staff receipt date of 3/4/2005, except for modifications that may be necessary to accommodate emergency access needs.
3. PUBLIC STREET ACCESS: Access to 73rd street shall be kept or restored with the completion of construction of the proposed improvements.
4. NUMBER OF DRIVE THRU LANES: The maximum number of drive-thru lanes shall be two.
5. LAND DIVISION: A land division or subdivision plat, whichever is required by the Subdivision Ordinance and state law, shall be completed prior to the issuance of any building permits for the proposed improvements.
6. AVIGATION HAZARD EASEMENT: An aviation hazard easement and other approvals required for development near the airport, if required by airport officials, shall be obtained prior to the issuance of any building permits for the proposed improvements.
7. LIGHTING: Maximum and average maintained horizontal illuminance at grade beneath the drive-thru canopy shall not exceed 15.0 and 7.5 footcandles, respectively. Other lighting performance standards for the subject site shall be as determined by the Development Review Board.

CIRCULATION

1. STREET CONSTRUCTION. Before issuance of any certificate of occupancy for the site, the developer shall dedicate the following right-of-way and construct the following street improvements, in conformance with the Design Standards and Policies Manual:

Street Name/Type	Dedications	Improvements	Notes
Scottsdale Road	Existing	Existing	See below

Note:

- a. Scottsdale Road - The developer shall dedicate a one foot wide vehicular non-access easement on this street except at the existing street entrance.
 - b. Scottsdale Road - The developer needs to confirm that no easement shall encroach into the the street Right of Way.
2. AUXILIARY LANE CONSTRUCTION. Before issuance of any certificate of occupancy for the site, the developer shall dedicate the necessary right-of-way, as determined by city staff, and construct right-turn deceleration lanes at the site entrance on Scottsdale Road, in conformance with the Design Standards and Policies Manual.

3. **EASEMENT REQUIREMENTS.** Before any final plan approval, the developer shall dedicate an ingress/egress easement over the driveway on Scottsdale Road in a form acceptable to city staff. Before any lot split approval, the developer shall obtain a cross access easement between the two proposed lots in a form acceptable to city staff.
4. **PEDESTRIAN CIRCULATION PLAN.** With the Development Review Board submittal, the developer shall submit a Pedestrian Circulation Plan for the site, which shall be subject to city staff approval. This plan shall indicate the location and width of all sidewalks and pedestrian pathways.

ADDITIONAL INFORMATION FOR CASE 36-UP-2004

PLANNING/DEVELOPMENT

1. **DEVELOPMENT CONTINGENCIES.** The approved development program, including intensity, may be changed due to drainage issues, topography, and other site planning concerns which will need to be resolved at the time of preliminary plat or site plan approval. Appropriate design solutions to these constraints may preclude achievement of the proposed development program.
2. **DEVELOPMENT REVIEW BOARD.** The City Council directs the Development Review Board's attention to:
 - a. the architectural design of the building and site walls;
 - b. site design and its compatibility with surrounding development;
 - c. the type, height, design, and intensity of proposed lighting on the site, to ensure that it is compatible with the adjacent use;
 - d. landscape and open space design and configuration;
 - e. The aesthetic impact of drainage facilities;
 - f. pedestrian circulation elements.

ENGINEERING

1. **RESPONSIBILITY FOR CONSTRUCTION OF INFRASTRUCTURE.** The developer shall be responsible for all improvements associated with the development or phase of the development and/or required for access or service to the development or phase of the development. Improvements shall include, but not be limited to washes, storm drains, drainage structures, water systems, sanitary sewer systems, curbs and gutters, paving, sidewalks, streetlights, street signs, and landscaping. The granting of zoning/use permit does not and shall not commit the city to provide any of these improvements.
2. **FEES.** The construction of water and sewer facilities necessary to serve the site shall not be in-lieu of those fees that are applicable at the time building permits are granted. Fees shall include, but not be limited to the water development fee, water resources development fee, water recharge fee, sewer development fee or development tax, water replenishment district charge, pump tax, or any other water, sewer, or effluent fee.
3. **STREET CONSTRUCTION STANDARDS.** The streets for the site shall be designed and constructed to the standards in the Design Standards and Policies Manual.
4. **CITY CONTROL OF ACCESS.** The city retains the right to modify or void access within city right-of-way. The city's responsibility to promote safe conditions for the traveling public takes precedence over the stipulations above.



ACOMA DRIVE LLC
30833 NORTHWEST HWY STE 220
FARMINGTON HILLS, MI 48334 USA
Parcel: 215-56-019

SCOTTSDALE ROAD EQUITIES 02 LLC
7580 E GRAY RD STE 202
SCOTTSDALE, AZ 85260 USA
Parcel: 215-56-023-C

MONT ASTER LLC
14901 N SCOTTSDALE RD #201
SCOTTSDALE, AZ 85254 USA
Parcel: 215-56-021-B

SCOTTSDALE KIERLAND I LLC
14648 N SCOTTSDALE RD #345
SCOTTSDALE, AZ 85254 USA
Parcel: 215-58-021

AMERICAN SUMMIT INSURANCE COMPANY
PO BOX 2028
WACO, TX 767032028 USA
Parcel: 215-56-026-C

SONORAN PEAKS LLC
14901 N SCOTTSDALE RD STE 305
SCOTTSDALE, AZ 85254 USA
Parcel: 215-56-029

KOPPES SETH C/MARY E
8502 E SUTTON DR
SCOTTSDALE, AZ 85260 USA
Parcel: 215-56-004-B

SCOTTSDALE ROAD EQUITIES 02 LLC
7580 E GRAY RD STE 202
SCOTTSDALE, AZ 85260 USA
Parcel: 215-56-021-A

SCOTTSDALE KIRLAND IV LLC
6929 E GREENWAY PKWY #100
SCOTTSDALE, AZ 85254 USA
Parcel: 215-58-016

STATE FARM MUTUAL AUTO INS CO
1 STATE FARM PLAZA
BLOOMINGTON, IL 61701 USA
Parcel: 215-56-023-D

SCOTTSDALE ROAD EQUITIES 02 LLC
7580 E GRAY RD STE 202
SCOTTSDALE, AZ 85260 USA
Parcel: 215-56-023-E

SUNSET PEAK L L C
14901 N SCOTTSDALE RD
SCOTTSDALE, AZ 85254 USA
Parcel: 215-56-018

NAUTILUS INSURANCE CO
7273 E BUTHERUS DR
SCOTTSDALE, AZ 85260 USA
Parcel: 215-56-383

STATE FARM MUTUAL AUTO INS CO

ATTACHMENT #7

**36-UP-2004
11-24-04**

1 STATE FARM PLAZA
BLOOMINGTON, IL 61701 USA
Parcel: 215-56-020

SCOTTSDALE KIERLAND 2 LLC
14648 N SCOTTSDALE RD #345
SCOTTSDALE, AZ 85254 USA
Parcel: 215-58-022

County Parcels



21542369
7030 E GREENWAY PKWY

21542368
7132 E GREENWAY PKWY

21550058C
15101 N SCOTTSDALE RD

Greenway Pkwy

Butherford Dr

Scottsdale Rd

Marilyn Rd

71st St

21556023E
14881 N SCOTTSDALE RD, A

21556023D
14801 N SCOTTSDALE RD

21556021B
14803 N SCOTTSDALE RD

21556021A
14851 N SCOTTSDALE RD, C

21556020
14801 N SCOTTSDALE RD

21556016
14850 N SCOTTSDALE RD

21558022
14640 N SCOTTSDALE RD

21558041

21558042

21558043

21558044

21558045

21558046

21558047

21558048

21558049

21558050

21558051

21558052

21558053

21558054

21558055

21558056

21558057

21558058

21558059

21558060

21558061

21558062

21558063

21558064

21558065

21558066

21558067

21558068

21558069

21558070

21558071

21558072

21558073

21558074

21558075

21558076

21558077

21558078

21558079

21558080

21558081

21558082

21558083

21558084

21558085

21558086

21558087

21558088

21558089

21558090

21558091

21558092

21558093

21558094

21558095

21558096

21558097

21558098

21558099

21558100

21558101

21558102

21558103

21558104

21558105

21558106

21558107

21558108

21558109

21558110

21558111

21558112

21558113

21558114

21558115

21558116

21558117

21558118

21558119

21558120

21558121

21558122

21558123

21558124

21558125

21558126

21558127

21558128

21558129

21558130

21558131

21558132

21558133

21558134

21558135

21558136

21558137

21558138

21558139

21558140

21558141

21558142

21558143

21558144

21558145

21558146

21558147

21558148

21558149

21558150

21558151

21558152

21558153

21558154

21558155

21558156

21558157

21558158

21558159

21558160

21558161

21558162

21558163

21558164

21558165

21558166

21558167

21558168

21558169

21558170

21558171

21558172

21558173

21558174

21558175

21558176

21558177

21558178

21558179

21558180

21558181

21558182

21558183

21558184

21558185

21558186

21558187

21558188

21558189

21558190

21558191

21558192

21558193

21558194

21558195

21558196

21558197

21558198

21558199

21558200

21558201

21558202

21558203

21558204

21558205

21558206

21558207

21558208

21558209

21558210

21558211

21558212

21558213

21558214

21558215

21558216

21558217

21558218

21558219

21558220

21558221

21558222

21558223

21558224

21558225

21558226

21558227

21558228

21558229

21558230

21558231

21558232

21558233

21558234

21558235

21558236

21558237

21558238

21558239

21558240

21558241

21558242

21558243

21558244

21558245

21558246

21558247

21558248

21558249

21558250

21558251

21558252

21558253

21558254

21558255

21558256

21558257

21558258

21558259

21558260

21558261

21558262

21558263

21558264

21558265

21558266

21558267

21558268

21558269

21558270

21558271

21558272

21558273

21558274

21558275

21558276

21558277

21558278

21558279

21558280

21558281

21558282

21558283

21558284

21558285

21558286

21558287

21558288

21558289

21558290

21558291

21558292

21558293

21558294

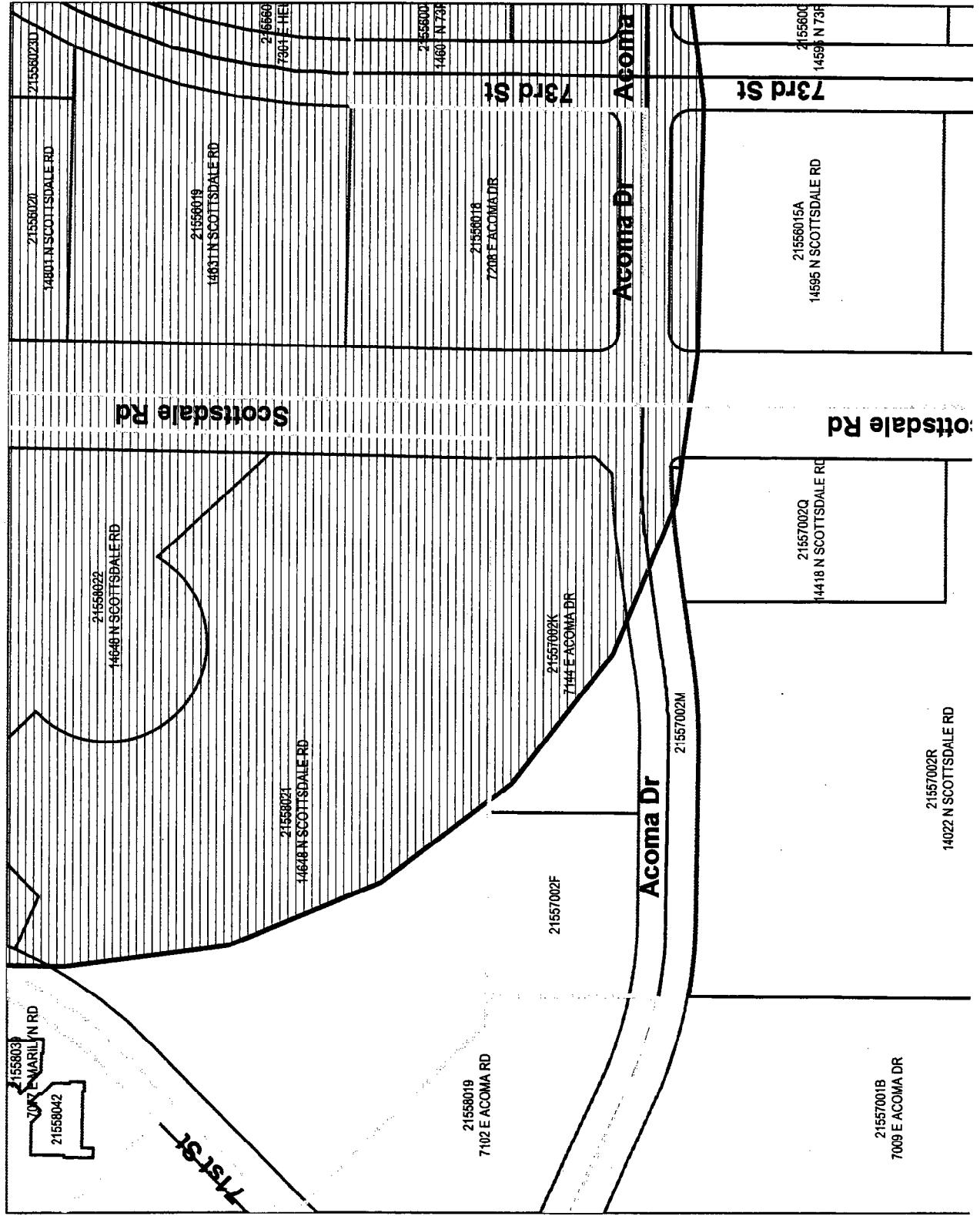
21558295

21558296

215

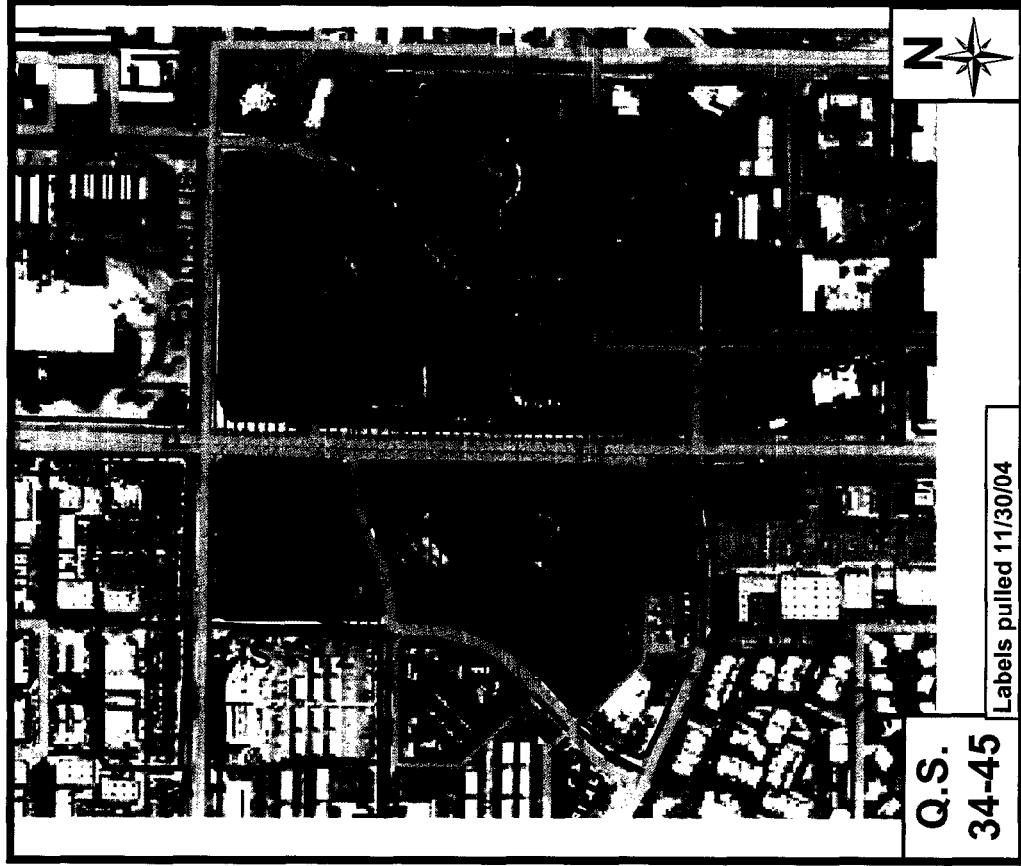
[illegible]

County Parcels



[illegible]

City Notifications – Mailing List Selection Map



Map Legend:



Site Boundary



Properties within 750-feet

Additional Notifications:

- Interested Parties
- City of Phoenix
- Coalition of Pinnacle Peak (C.O.P.P.)

Comerica Bank

36-UP-2004

ATTACHMENT #8

3) Not Initiate

CHAIRMAN GULINO stated he has received five citizen comment cards from people that would like to speak. He further stated that he thought it would make sense for these citizens to make their concerns known to the City Council on Tuesday, but if they wish to speak, they would have the opportunity.

COMMISSIONER HEITEL stated that it would make sense to continue and defer to the Council and let them determine the direction.

CHAIRMAN GULINO inquired if continuing this request to the Commission's next meeting would impact making the 2005 schedule. Mr. Jones replied in the negative. Chairman Gulino remarked that it makes sense to continue this request.

COMMISSIONER STEINKE MOVED TO CONTINUE 2-GP-2005 TO THE APRIL 27, 2005 PLANNING COMMISSION HEARING. SECOND BY COMMISSIONER HEITEL.

THE MOTION PASSED BY A VOTE OF SIX (6) TO ZERO (0).

EXPEDITED AGENDA

23-AB-2004 (Groman Residence) request by owners to abandon a 10-foot strip of 76th Street right-of-way on the west side adjacent to parcels 216-69-003R, 216-69-003Q, and 216-69-003S.

(PULLED TO REGULAR AGENDA)

36-UP-2004 (Comerica Bank) request for a conditional use permit for a bank on a 50,000 +/- square feet parcel located at 14801 N. Scottsdale Road with Industrial Park (I-1) zoning.

65-ZN-1992#5 (Scottsdale Riverwalk Square) request by owner for site plan approval as stipulated in Case 65-ZN-1992#4 on an acre portion of the parcel located northeast of Camelback Road on Scottsdale Road with Downtown Regional Commercial Office, Type 2. Planned Block Development Downtown Overlay (D/RCO-2 PBD DO) zoning.

52-ZN-1997#3 (X Lofts) request by owner to rezone from Highway Commercial District, Downtown Overlay (C-3 DO) to Downtown/Office Commercial Type 2 District, Planned Block Development, Downtown Overlay (D/OC-2 PBD DO) on a 1.43 +/- acre parcel located at 7044, 7050 and 7106 E. Osborn Road and to add the Planned Block Development (PBD) and amend the site plan/stipulations

from case 52-ZN-1997#2 on a 1.28 +/- acre parcel located at 7116 and 7126 E. Osborn Road.

MR. JONES stated there is a modified stipulation on case 52-ZN-1997#3 with regard to the Development Review Board looking at a 10 foot wide, minimum 5 foot wide public access easement across the site.

COMMISSIONER HEITEL MOVED TO FORWARD CASE 36-UP-2004 TO THE CITY COUNCIL WITH A RECOMMENDATION FOR APPROVAL SUBJECT THAT IT MEETS THE USE PERMIT CRITERIA. MOVED TO FORWARD CASES 65-ZN-1992#5 AND 52-ZN-1997#3 WITH THE MODIFIED STIPULATION TO THE CITY COUNCIL WITH A RECOMMENDATION FOR APPROVAL. SECOND BY COMMISSIONER HESS.

THE MOTION PASSED BY A VOTE OF SIX (6) TO ZERO (0).

REGULAR AGENDA

23-AB-2004 (Groman Residence) request by owners to abandon a 10-foot strip of 76th Street right-of-way on the west side adjacent to parcels 216-69-003R, 216-69-003Q, and 216-69-003S.

(COMMISSIONER BARNETT DECLARED A CONFLICT AND DID NOT PARTICIPATE IN THE DISCUSSION OR THE VOTE.)

MR. WILLIAMS responded to the question in the study session regarding the Foothills Overlay, noting when the ESL was revised, it did not affect the Foothills Overlay. He reviewed the dimensions of the local street, which includes a trail.

COMMISSIONER HEITEL stated he would like to respect the ongoing dialogue that the citizens are having up there and not precipitously abandon these until we have definitive direction from Council. Mr. Jones stated the direction from Council with regard to GLO easements is to continue to look at them individually. He further stated that it would be great if we could deal with these in a broader basis rather than an individual basis.

COMMISSIONER HEITEL MOVED TO FORWARD CASE 23-AB-2004 TO THE CITY COUNCIL WITH A RECOMMEND FOR DENIAL. SECOND BY COMMISSIONER HESS.

COMMISSIONER HESS stated he shares Commissioner Heitel's concerns and felt the Commission has not been given the appropriate direction from the Council.

- ON
- BEFORE EACH PLASTERING COLUMN, AND HAVE 1/2" PROTECTION AT TYPICAL JOINTS WITH MEMBERS (BETWEEN PLACES).
1. COOPER FINE BRICKS AND DOWNSPOUTS TO MATCH COPPER FINISH PANELS AT TASSAZ.
2. REFER TO MECHANICAL DRAWINGS FOR LOCATION OF LOUVERS, FRESH VENTS, AND OTHER THRU-WALL PENETRATIONS.
3. BANK ELEVATION IN OTHER S.C. TO COORDINATE LOCATION AND INSTALLATION OF BANK COMPASS SURVEY.
4. BANKING SURFACE BY OTHERS S.C. TO COORDINATE LOCATION AND INSTALLATION OF BANK COMPASS SURVEY FOR ELECTRICAL WORK. (FOR LISTING RECOMMENDATIONS).



COMERICA BANK
14801 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85260

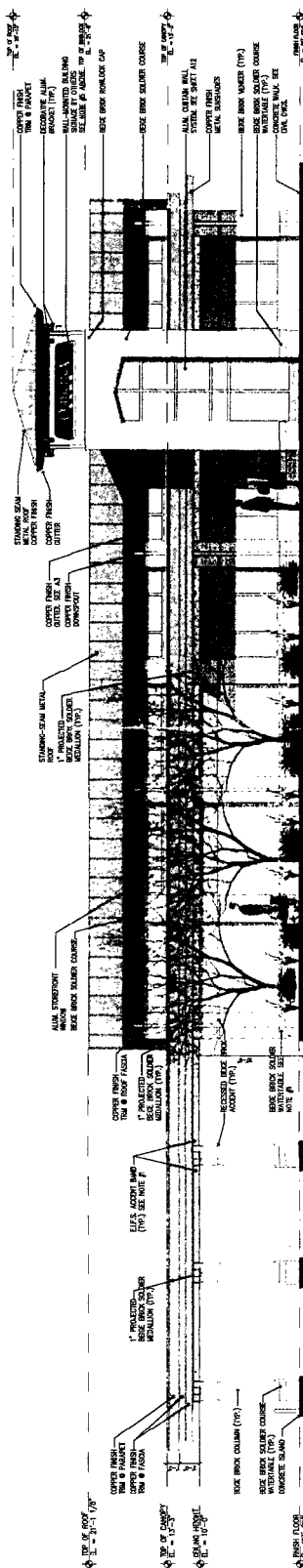
OWNER:
Comerica
DEVELOPER:
Tanner Consulting

546-PA-04
USE PERMIT
SUBMITTAL
© CIP/OSHA 2001

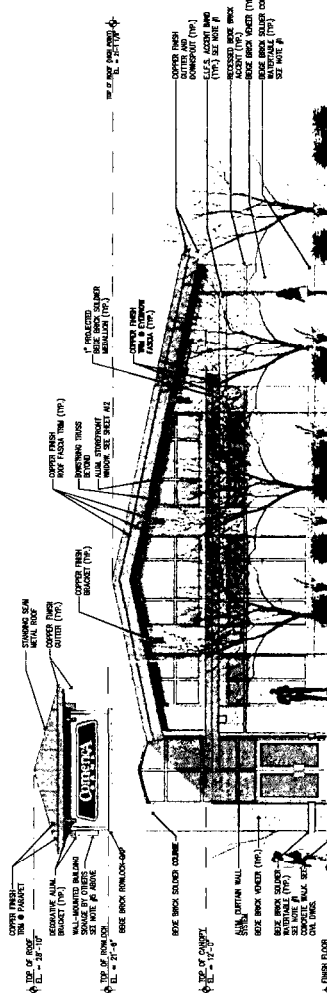
WEST ELEVATION
SOUTH ELEVATION

A3

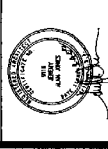
DATE	CTH	REMOVED BY	JJ
/18/04		PROJECT NUMBER	0424.00



WEST ELEVATION
3/4" = 1' - 0"



SOUTH ELEVATION



TRAMMELL CROW COMPANY
COMERICA BANK
14801 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85260

OWNER: COMERICA
DEVELOPER: TRAMMELL CROW COMPANY

546-PA-04
USE PERMIT
SUBMITTAL

SHEET #12
SITE PLAN

SP-1

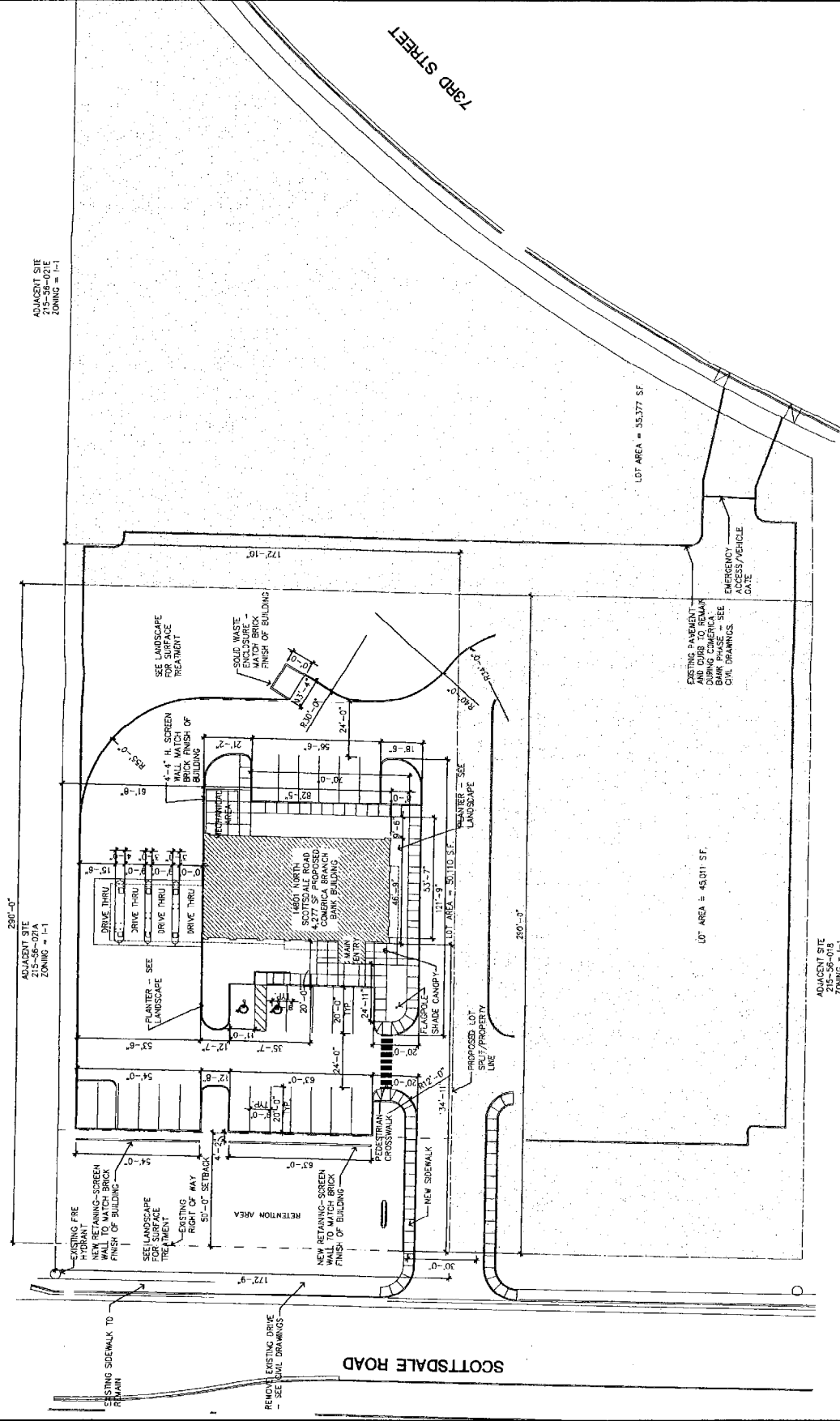
DATE	2/04/04
PROJECT NO.	546-PA-04
SCALE	1" = 20'-0"

ATTACHMENT #11

1 SITE PLAN



1" = 20'-0"



ADJACENT SITE
215-36-071A
ZONING = I-1

ADJACENT SITE
215-36-071B
ZONING = I-1